

BRICK & STONE PAVER DRIVEWAY PERMIT TIPS

Minimum Installation Specifications

Paver Bricks/Stones (<i>Ladrillo</i>) - per specs
Sand Bed (<i>Arena</i>) - <i>Minimum 1.5"</i>
Crushed Stone (<i>Grava</i>) - <i>Minimum 4"</i>

- ◆ The specifications shown above are the minimum requirements. Please consult the place of purchase for the manufacturer's recommended installation specifications for the specific variety of paver brick/stone that you have selected.
- ◆ Not all varieties of paver bricks/stones are appropriate for use in driveway installation. Many varieties are not designed to support the weight of an automobile without incurring significant damage. **The product to be used must be designed for withstanding vehicular traffic. Patio block or standard masonry shall not be substituted for paver brick.**
- ◆ Village Ordinance requires that driveways be hard, dust-free surfaces. Driveways not installed to strict manufacturer's specifications may sink, crack, and/or buckle and must therefore be repaired and/or replaced.
- ◆ Minimum width of 18', for a minimum depth of 19' is required. Maximum width of 24' along property line adjacent to a public right-of-way, except dwelling units which include an attached garage consisting of 3 or more vehicular parking stalls shall not exceed 28' in width. Maximum width along property line shall be maintained for minimum of 5' perpendicular to property line. Thereafter, the width may be increased at an angle of no less than 45 degrees to a width not to exceed 50% of the lot width or 35', whichever is less. No more than 1 driveway approach per property. Minimum width of 10' for driveway located behind the front wall setback of the principal structure for parking or storage purposes.
- ◆ Minimum setback of 3' from the lot line for driveway and other dust free surfaces. Must not be located on an easement unless written approval from all utility companies is provided. Minimum of 50% open space required for the area of the lot.
- ◆ Base inspection required prior to laying bricks and final inspection following installation. Minimum 48 to 72-hour notice on all inspections. Call 630/226-8470 to schedule inspection.

To obtain a permit, please visit <https://bolingbrookil.viewpointcloud.com/> and submit the following:

1. The online permit application.
1. A current plat of survey showing all existing site improvements plus driveway dimensions and setbacks.
2. A brochure or factory specification sheet identifying the specific product to be used, and any installation instructions provided by the manufacturer.
3. Homeowner's Association permission if applicable.
4. FEE: \$80.00 (Driveway replacement)
 \$100.00 (Driveway widening with or without replacement of existing driveway)
Additional fees may apply. Fee must be paid when application is submitted.

All contractors must be currently registered with the Village of Bolingbrook, Building Division in accordance with Chapter 10 of the Bolingbrook Municipal Code prior to issuance of a Building Permit.

Placement/Open Space questions: Planning & Zoning Division 630/226-8460
Construction/permit questions: Building Division 630/226-8470

Please note: Processing time is 15-20 working days; however, if the application is incomplete the review time may be longer.

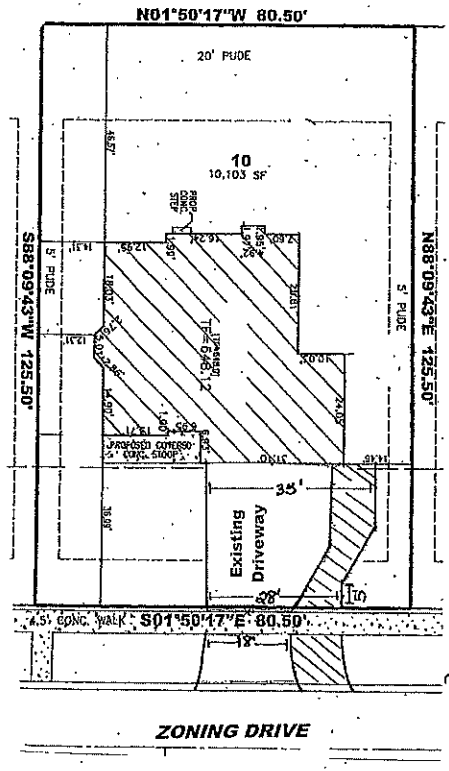
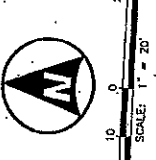
Apply Online and Track Your Permit Status at:

<https://bolingbrookil.viewpointcloud.com/>

EXAMPLES

PLAT OF SURVEY

IN THE NORTH EAST QUARTER OF SECTION 24, TOWNSHIP 37 NORTH, RANGE 6 EAST OF THE THIRD PRINCIPAL MERIDIAN, COUNTY OF WALKER, ILLINOIS, AS DOCUMENT NO. 035-003057 AS DOCUMENT NO. 035-003057



LEGEND
BOLD LINE - BUILDING FOOTPRINT
DASHED LINE - PUBLIC UTILITY
DOTTED LINE - PUBLIC UTILITY
SOLID LINE - EASEMENT
THICK LINE - EASEMENT

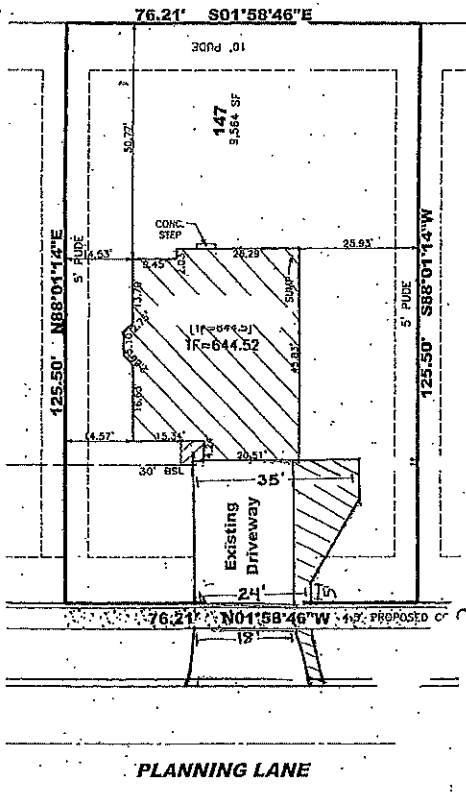
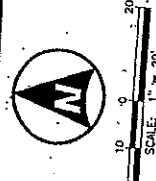
PROPERTY NOT SHOWN HEREIN IS SUBJECT TO PLAT OF TITLE WHICH BE REFERRED TO AS CURRENT TITLE. THIS SURVEY IS BASED ON THE CURRENT TITLE AND THE SURVEYOR HAS NO KNOWLEDGE OF ANY OTHER INTERESTS WHICH MAY BE CLAIMED BY ANY PARTY.

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