

# RESIDENTIAL DRIVEWAY PERMIT TIPS

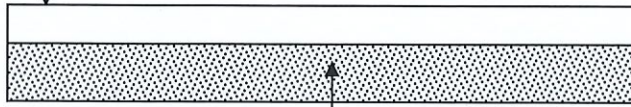
◆ PAVER BRICK:

See Brick and Stone Paver Driveway Permit Tips

◆ ASPHALT DRIVEWAY:

I-11 asphalt

Two (2)-inch minimum compacted  
↓  
(Three (3)-inch minimum in approach)

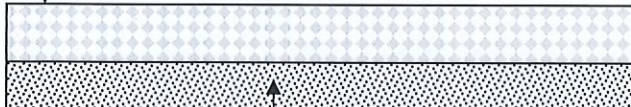


Six (6)-inch minimum compacted #8 crushed stone

◆ CONCRETE DRIVEWAY:

\*Class "X" concrete

Four (4)-inch minimum  
↓  
(Five (5)-inch minimum in approach)



Four (4)-inch minimum compacted #8 crushed stone

- ◆ Where provided, reinforcement shall be supported to remain in place from the center to upper third of the slab for the duration of the concrete placement (chairs or equivalent).
- ◆ Hand mix concrete is not allowed. All concrete shall have a minimum 5 bag mix.
- ◆ Minimum width of 18', for a minimum depth of 19' is required. Maximum width of 24' along property line adjacent to a public right-of-way, except dwelling units which include an attached garage consisting of 3 or more vehicular parking stalls shall not exceed 28' in width. Maximum width along property line shall be maintained for minimum of 5' perpendicular to property line. Thereafter, the width may be increased at an angle of no less than 45 degrees to a width not to exceed 50% of the lot width or 35', whichever is less. No more than 1 driveway approach per property. Minimum width of 10' for driveway located behind the front wall setback of the principal structure for parking or storage purposes.
- ◆ Minimum setback of 3' from the lot line for driveway and other dust free surfaces. Must not be located on an easement unless written approval from all utility companies is provided. Minimum of 50% open space required for the area of the lot.
- ◆ Inspection required prior to pouring asphalt or concrete. Minimum 48-72 hour notice on all inspections. Call 630/226-8470 to schedule inspection.

To obtain a permit, please visit <https://bolingbrookil.viewpointcloud.com/> and submit the following:

1. The online permit application.
2. A current Plat of Survey showing all existing site improvements plus new driveway dimensions and setbacks.
3. Homeowner's Association permission, if applicable.
4. FEE: \$80.00 (Driveway replacement at same size)  
\$100.00 (Driveway widening with or without replacement of existing driveway)  
Additional fees may apply. Fee must be paid when application is submitted.

**All contractors must be currently registered with the Village of Bolingbrook, Building Division in accordance with Chapter 10 of the Bolingbrook Municipal Code prior to issuance of a Building Permit.**

Placement/Open Space questions: Planning & Zoning Division 630/226-8460

Construction/permit questions: Building Division 630/226-8470

*Please note: Processing time is 15-20 working days; however, if the application is incomplete the review time may be longer.*

**Apply Online and Track Your Permit Status at:**

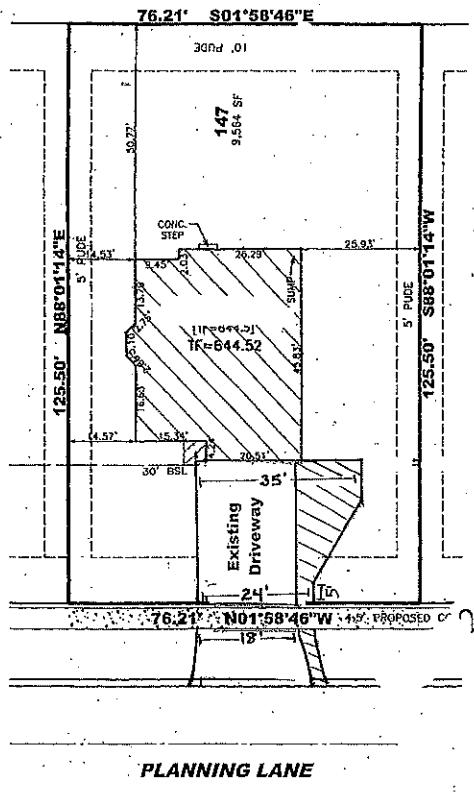
<https://bolingbrookil.viewpointcloud.com/>

# EXAMPLES

## PLAT OF SURVEY

LOT IN THE NORTH HALF OF THE NORTH-EAST QUARTER OF SECTION 24, TOWNSHIP 37 NORTH, RANGE 16 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED IN WILL COUNTY, ILLINOIS, AND CERTIFICATE OF CORRECTIONS RECORDED AS DOCUMENT IN WILL COUNTY, ILLINOIS.

SCALE: 1" = 20'



**LEGEND**  
 BEAR/IT PUBLIC UTILITY & DRAINAGE EASEMENTS  
 [XXXXXX] PROPERTY NOT YET ACQUIRED AT THIS DATE AT CLIENTS REQUEST  
 SURVEYOR'S NOTES:  
 1. THIS SURVEY IS SUBJECT TO THE RECORDS OF THE COUNTY RECORDS OF WILL COUNTY, ILLINOIS.  
 2. THE ONLY BUILDING LINE BACKS AND EAST OF SURVEY ARE WHICH ARE SHOWN ON THE RECORDS OF THE COUNTY RECORDS OF WILL COUNTY, ILLINOIS.  
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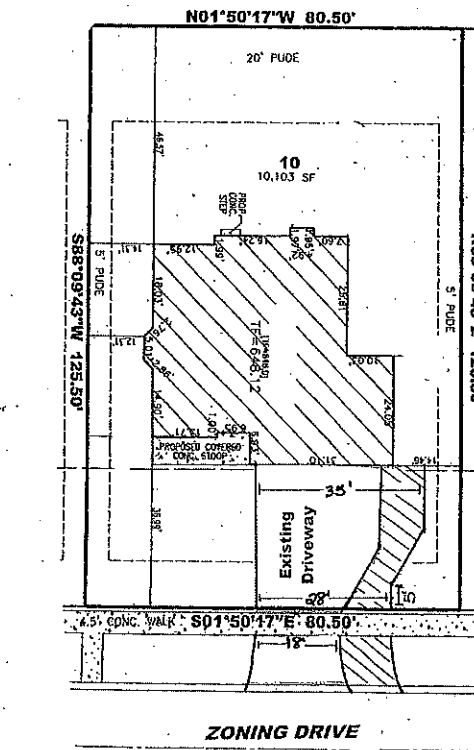
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**DEVELOPER:** KEVIN J. CHERRY, 108 WEST 1ST ST, CHICAGO, IL 60601  
**ENGINEER:** KEVIN J. CHERRY, 108 WEST 1ST ST, CHICAGO, IL 60601  
**DATE:** 10/15/2014  
**PROJECT:** 2-CAR GARAGE EXAMPLE

## PLAT OF SURVEY

LOT IN THE NORTH HALF OF THE NORTH-EAST QUARTER OF SECTION 24, TOWNSHIP 37 NORTH, RANGE 16 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED IN WILL COUNTY, ILLINOIS, AND CERTIFICATE OF CORRECTIONS RECORDED AS DOCUMENT IN WILL COUNTY, ILLINOIS.

SCALE: 1" = 20'



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**ENGINEER:** KEVIN J. CHERRY, 108 WEST 1ST ST, CHICAGO, IL 60601  
**DATE:** 10/15/2014  
**PROJECT:** 3-CAR GARAGE EXAMPLE