

GARAGE PERMIT TIPS

- ◆ All garages for single family detached homes must be no less than 530 square feet and no greater than 640 square feet as measured by the exterior dimension.
- ◆ All garages for single family attached homes must be no less than and no greater than 425 square feet as measured by the exterior dimensions. The garage must provide not less than two 9'x19' parking spaces.
- ◆ The area of all structures on the lot, including garages, swimming pools, raised decks, sheds, and the residence, may not exceed 30% of the lot area in the R-2 Zoning District or 35% of the lot area in the R-3 Zoning District. The amount of green, landscaped area must be a minimum of 50% of the area of the lot.
- ◆ A detached garage must be located behind the front wall of the principal structure that is farthest from the front property line, shall not be located in a corner side yard, and shall not be placed on a vacant lot.
- ◆ A detached garage must be located at least 10 feet from the residence, at least 5 feet from the rear lot line, at least 5 feet from the side lot line, and must not be located within an easement unless letters from all utility companies granting permission to encroach into the easement(s) are submitted with the permit application. (A list of utility companies is available at the Public Services & Development Department.)
- ◆ The maximum height of a detached garage is 14 feet to peak.
- ◆ A hard surface driveway is required for all garages. (See driveway tip sheets for minimum and maximum requirements)
- ◆ Garages should be constructed in a manner which complements the house in style, material, and color.
- ◆ A list of all required inspections will be provided when permit is issued. Minimum 48-72 hour notice on all inspections. Call 630/226-8470 to schedule inspection

GARAGE SPECIFICATIONS MINIMUM REQUIREMENTS

Attached and Built-in Garages: To be of same construction as the dwelling except the walls and ceiling of garage shall be finished with 5/8" Fire Code Drywall. If door openings occur between garage and dwelling, floor of garage shall be 6" lower than adjoining floor and door shall be a 3/4" thick solid core. Interior of garage to be finish taped and painted.

Detached Garages: Comply with construction requirements of one-story dwelling with the following exceptions:

- A. Concrete Slab—All sod and vegetation must be removed. Minimum 8" perimeter wall (all four sides at least 12" below ground). Concrete floor to be 6" above ground. 4" thick poured monolithically with wall. There shall be at least 4" of stone or gravel and approved wire mesh under slab.
- B. Treated sill plate with anchor bolts spaced a maximum of 6 feet on center. There shall be a minimum of 2 bolts per plate with 1 bolt not more than 12 inches and not less than 3.5 inches from each end.
- C. Garage floor pitch from back to front not to be less than 2%.
- D. Where provided, reinforcement shall be supported to remain in place from the center to upper third of the slab for the duration of the concrete placement.
- E. Top plates are to be doubled and plates at corners lapped to provide ties.
- F. Rafter ties at eaves not less than 2" x 6s" maximum spacing 4 feet on center.
- G. Roof sheathing shall be a minimum of 7/16" plywood. For 1/2" or less sheathing spanning 24 inches on center, structural clips must be provided at the center point of each span.
- H. All corners are to be braced with structural sheathing or appropriate diagonal bracing. Where there is less than four (4) feet from the corner to an opening in the wall, specify the alternate bracing method to be used from IRC Section 602.10.
- I. Shingles a minimum of 235# over 15# felt.

J. Overhead door headers (or equivalent):	9' opening	2-2" x 10" minimum
	16' opening	3-2" x 12" minimum
	18' opening	3-2" x 14" minimum

K. Hurricane straps, rafter ties, or other tie downs shall be used to attach all roof rafters or trusses to top plates. When double top plates are used, straps or ties must attach to both plates.

Masonry Garages: To comply with requirements of masonry construction

Electrical: Must comply with local codes.

To obtain a permit, please visit <https://bolingbrookil.viewpointcloud.com/> and submit the following:

1. The online permit application.
2. A current plat of survey indicating all existing conditions, the location of the proposed garage, including distance from the residence and from lot lines. (A typical plat of survey is attached and is provided for descriptive purposes only.)
3. A drawing or general description of the structural, mechanical and electrical systems in sufficient detail to show the dimensions, manner of construction and character of the work to be performed.
4. A detailed elevation drawing drawn at an accurate scale indicating the type of exterior materials, trim detail, and colors used in the construction of the garage to ensure compatibility with the existing house.
5. Homeowner's Association permission if applicable.
6. **PLAN REVIEW FEE:** \$50.00 Plan review fee must be paid when application is submitted. Building permit/inspection fees will be determined after completion of review.

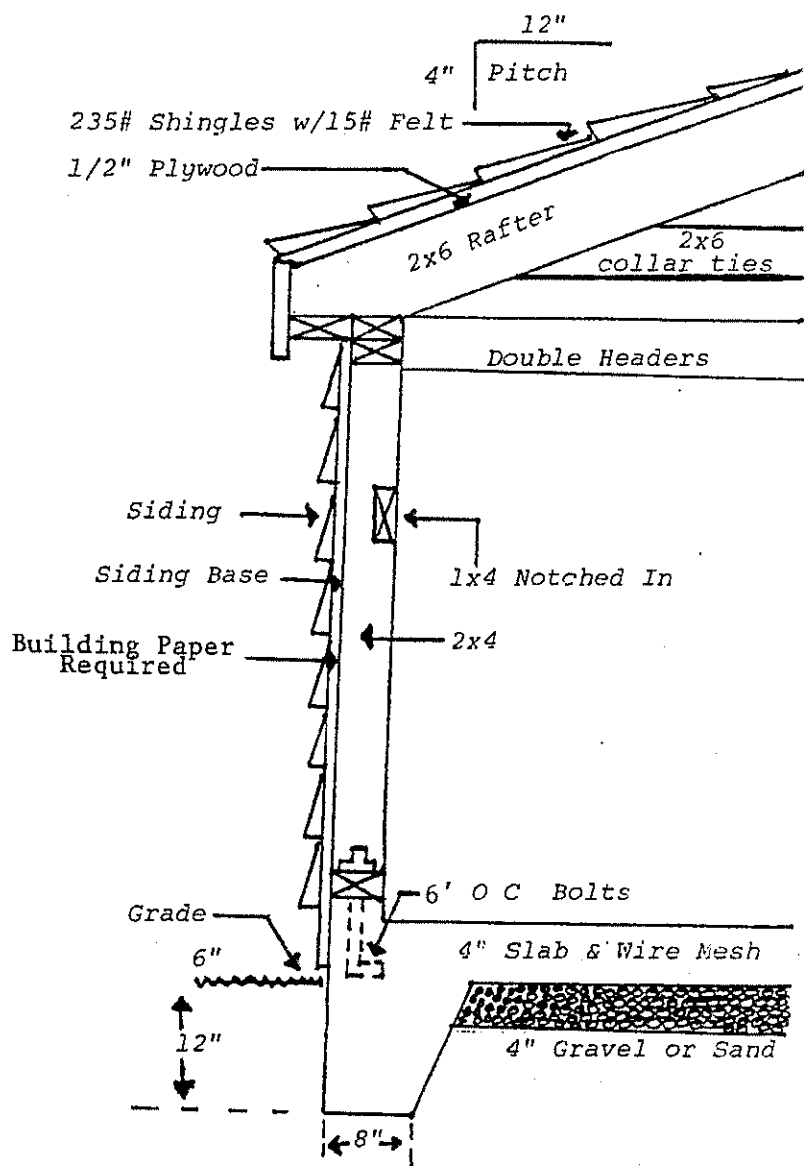
All general and subcontractors must be currently registered with the Village of Bolingbrook, Building Division in accordance with Chapter 10 of the Bolingbrook Municipal Code prior to issuance of a Building Permit.

Placement/setback/lot coverage questions: 630/226-8480
Construction/permit questions: Building 630/226-8470

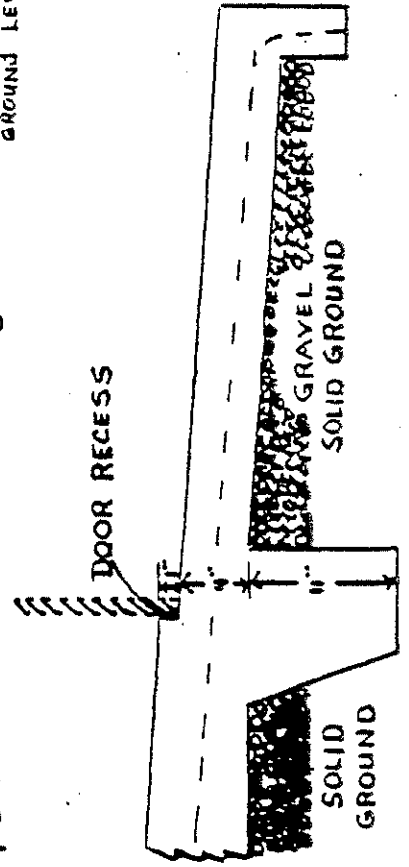
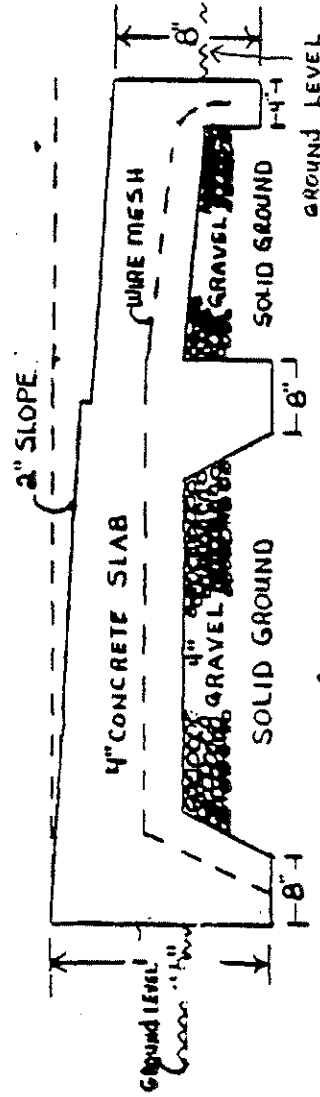
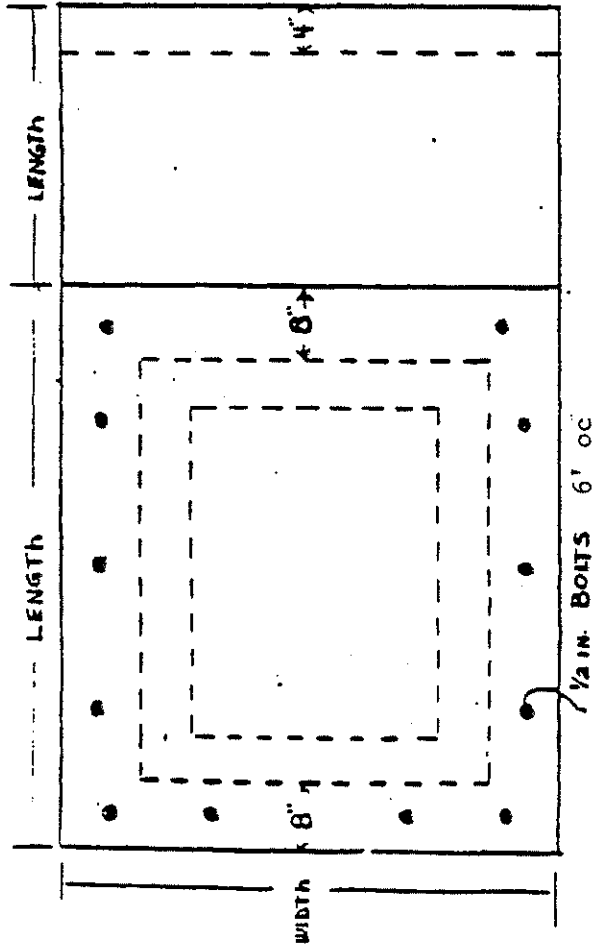
Please note: Processing time is 15-20 working days; however, if the application is incomplete the review time may be longer.

BOLINGBROOK PUBLIC SERVICES & DEVELOPMENT DEPARTMENT 630/226-8460

Apply Online and Track Your Permit Status at:
<https://bolingbrookil.viewpointcloud.com/>



GARAGE SLAB AND APRON DETAILS



24 HR. NOTICE ON ALL INSPECTIONS

Slab length: _____

Slab width: _____

Apron length: _____

Gravel: _____

Slope: _____

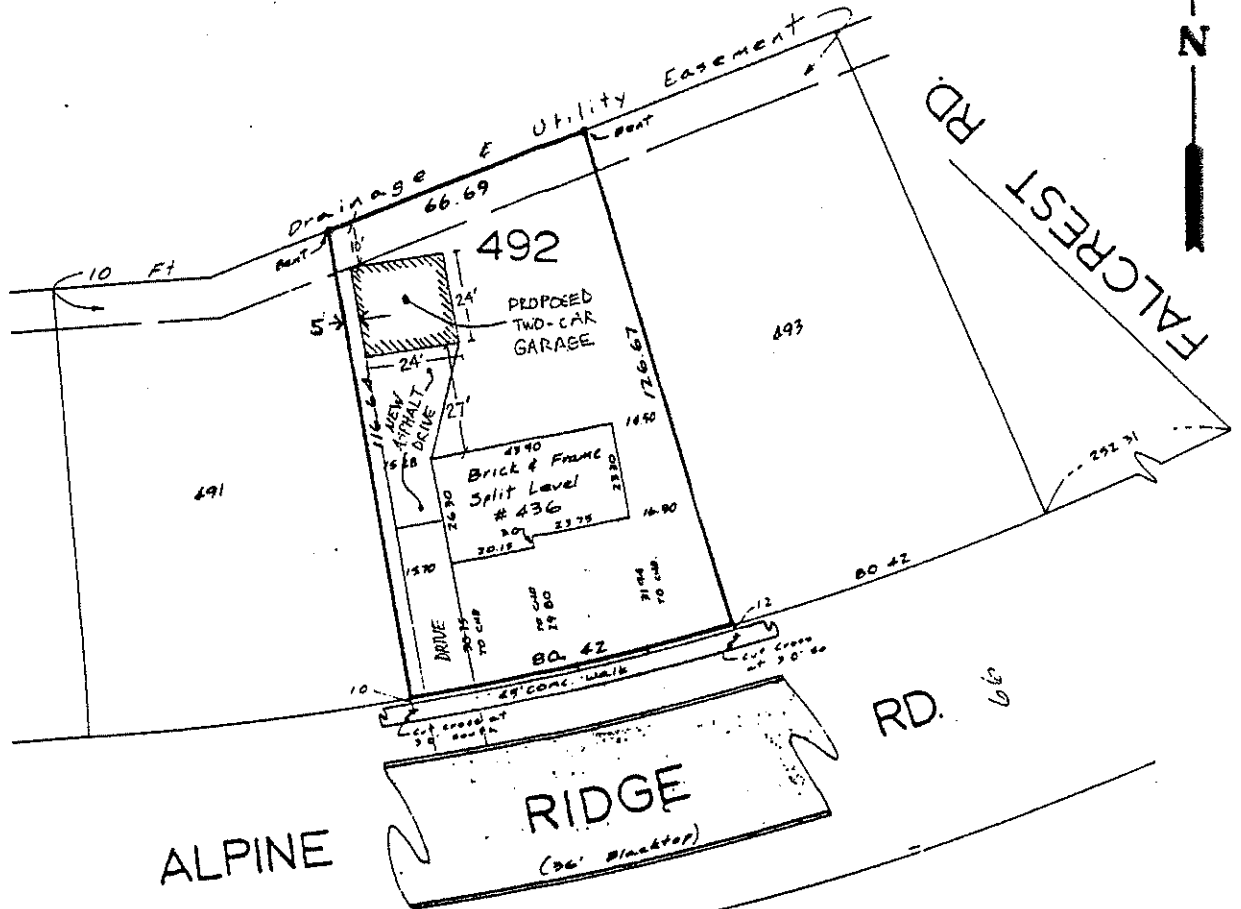
Slab depression: _____

Bolts: _____

Door recess: _____

SURVEY OF

LOT IN A SUBDIVISION IN SECTIONS 11 AND 12, TOWNSHIP 37 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT R72-308, IN THE VILLAGE OF BOLINGBROOK, IN WILL COUNTY, ILLINOIS.



EXAMPLE

I, the undersigned, being a duly Licensed Surveyor in the State of Illinois, do hereby certify that the above and foregoing is a correct and true representation of the facts and conditions as shown by the annexed plat and field notes.

GIVEN IN WITNESS WHEREOF, I have hereunto set my hand and seal at West Chicago, Illinois, this 19th day of October, 1972.

[Signature]

[Seal: State of Illinois, Surveyor, No. 12345]

I warrant the title and easements shown on this plat.

WEP [Signature]

STREET 60187
 PHONE (312) [Number]

Found Iron Stake
 O Drive Iron Stake
 All Dimensions Given in Feet
 Scale of Plat 30 Feet to 1 Inch

Drawn by [Signature]
 Checked by [Signature]
 Sur. Br. [Signature]

207°
 [Signature]
 Notes: Unit #5